



The Barossa Council



KALBEEBA WEST DEVELOPMENT GUIDELINES JULY 2022

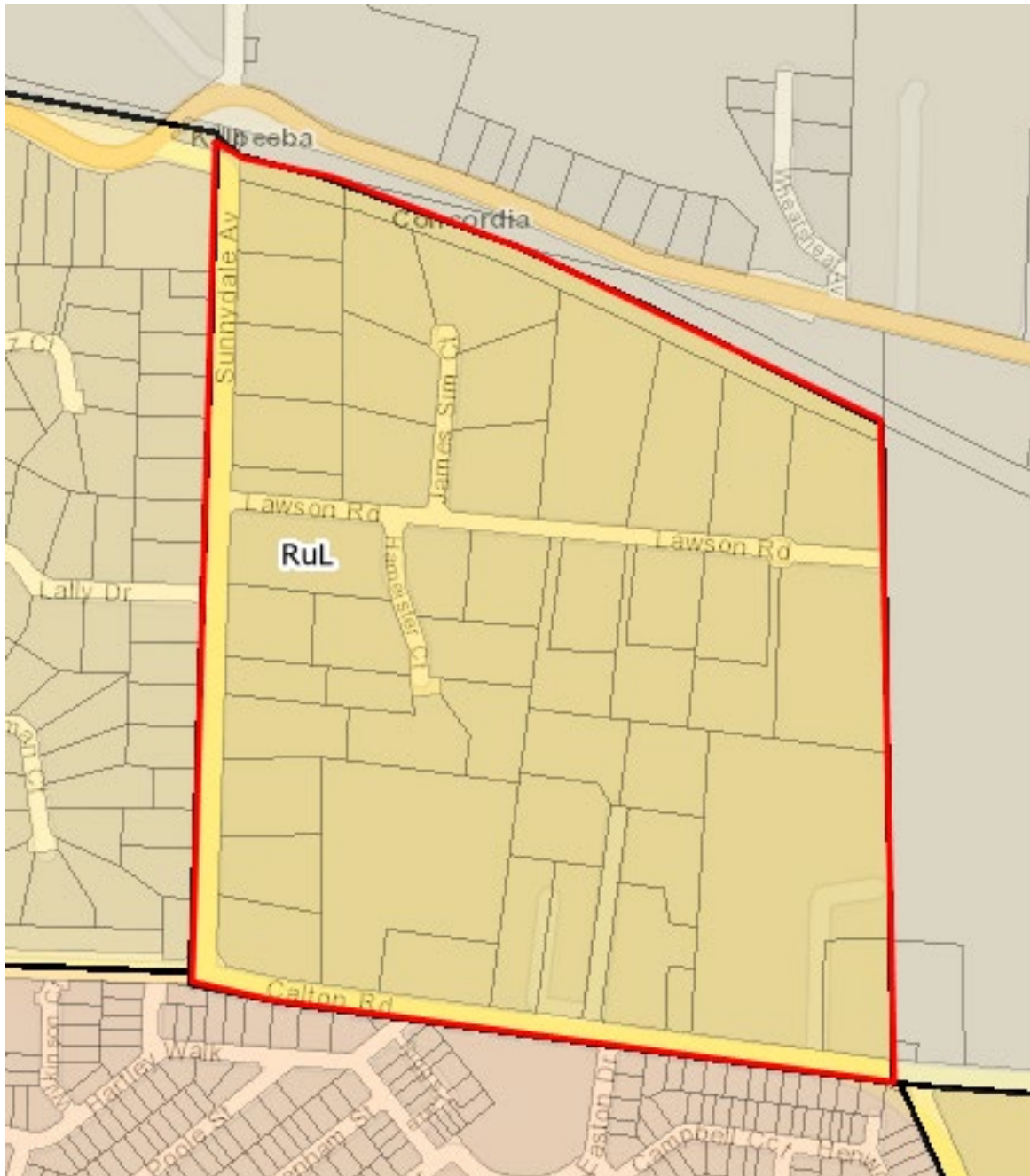
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RURAL LIVING ZONE – KALBEEBA WEST

These Development Guidelines have been prepared to guide applicants in formulating their development proposals within the area known as Kalbeeba West. The intent of this guide is to provide owners and developers with an understanding of requirements to ensure that future development occurs in an orderly and structured manner, supporting good design that will benefit the community, in line with the Planning and Design Code.

In many instances, it will be beneficial for landowners to work together to maximise the benefits of development.



Zone Map for Kalbeeba West, Planning and Design Code, Source: SAPPA



Aerial Image of Kalbeeba West. Source: ESRI

ALLOTMENT SIZE AND FRONTAGE

The Desired Outcome for the Rural Living Zone seeks “A spacious and secluded residential lifestyle within semi-rural or semi-natural environments.

The Rural Living Zone further seeks that “Allotments/sites created for semi-rural residential purposes are consistent with the density expressed in any relevant Minimum Site Area Technical and Numeric Variation or are of a suitable size and dimension to contribute to the existing semi-rural pattern of development consistent to the locality and suitable for their intended use”.

The Technical and Numeric Variation (TNV) is expressed at 5,000m² for this area. A TNV provides for an adaptation of the rules that apply in the Zone to provide for appropriate local variation. The TNV is a guideline and refers to what is generally regarded as being an appropriate size for new allotments but does not preclude allotments of lesser size being considered on their merits. Where allotments of less than 5,000m² are proposed, they will be assessed in context of each proposal and the extent to which the proposal accords with all other provisions of the Planning and Design Code and demonstrates appropriate development outcome.

The allotment frontage for all new allotments is 50 metres, unless the site is in the form of a battle-axe allotment or a Community Title division, in which case the driveway ‘handle’ should be not less than 6m wide.

SITE CONTAMINATION

The proposed allotments should be suitable for development in accordance with the *State Planning Commission Practice Direction 14 (Site Contamination Assessment)*. The application may be required to be accompanied by a Site contamination declaration form and preliminary site investigation report, that outlines the previous history of the site and possible contaminating activities. The link to Practice Direction 14 is below:

[Practice Direction 14 - Site Contamination Assessment - Version 1 dated 19 March 2021 \(plan.sa.gov.au\)](https://www.plan.sa.gov.au/practice-directions/practice-direction-14-site-contamination-assessment-version-1-dated-19-march-2021)

OPEN SPACE

Land division is subject to a financial contribution per additional allotment to the State Government's Open Space Fund. The contribution rate is set every financial year by the State Government and can be confirmed by Council staff. The fee must be paid, prior to land division clearance.

DWELLING DESIGN

Single storey dwellings are encouraged in style that responds to the semi-rural character of the locality at a rate of one dwelling per allotment.

The following building setbacks are prescribed:

- Front boundary setback – 20 metres;
- Side boundary setback – 10 metres;
- Rear boundary setback – 20 metres.

Dwellings must be provided with means of appropriate access and car parking, adequate private open space, wastewater disposal area, stormwater management and landscaping. Dwellings should address privacy impact through appropriate building setbacks, good design and landscape planting.

BUSHFIRE PROTECTION

The area is identified as Hazards (Bushfire – Medium Risk) Overlay under the Planning and Design Code. Development should be undertaken in accordance with the Overlay and *Ministerial Building Standard MBS 008 – Designated bushfire prone areas*. The key bushfire requirements are:

- a) Land division should enable forward entry and exit for fire fighting appliances;
- b) Provision is made for all-weather driveway and turn-around area to facilitate vehicle turn-around by the fire fighting appliance;
- c) Siting of dwellings on the flatter portion of allotments, away from steep slopes and vegetated areas that pose an unacceptable bushfire risk;
- d) Buildings are designed to reduce potential for trapping burning debris against or underneath the building;
- e) A dedicated water supply for fire fighting purposes at least 2,000 litres;
- f) Fire fighting equipment comprises fittings and equipment in accordance with the MBS 008.

The link to the Ministerial Building Standard MBS008 is below:

[Ministerial building standards | PlanSA](#)

NATIVE VEGETATION

There are some areas of biodiversity value within allotments and road verges. Kalbeeba West is subject to the Native Vegetation Overlay under the Planning and Design Code and the Overlay seeks to protect, retain and restore the vegetation. In this regard, development should minimise the clearance of native vegetation, taking into account the siting of buildings, access points, wastewater disposal systems and firebreaks.

A development application must be accompanied by a declaration stating the proposal will not involve clearance of native vegetation. Where native vegetation is affected, the application must be accompanied by a field report from an accredited consultant that the proposed level of clearance is within level of acceptable clearance (termed 'Level 1 clearance').

Established vegetation that has been planted (ie. not native vegetation) is also encouraged to be preserved. Such vegetation enhances the special character of Kalbeeba West, provides for shade, amenity and screening between neighbouring properties. Development is encouraged to identify key vegetation and to design the allotments/buildings in a way that preserves the vegetation.

FENCING AND LANDSCAPING

A special characteristic of Kalbeeba West is the open and semi-rural character, underpinned by open style fencing, established vegetation and space around buildings. To support this character, new fencing should be open in design. Appropriate fencing styles are post and wire, open wood panel and woven wire or other styles that are open in nature.

Landscape planting is the preferred means of optimising privacy and reducing privacy impact. Where common driveways are proposed, landscaping should be established of at least 1m wide along the driveway, using semi-mature plantings, to soften driveway appearance.

REMOVAL OF STRUCTURES

Prior to clearance of a land division, the allotments must be cleared of all buildings and structures on the new allotment/s, other than buildings that are to be retained on the same allotment as an existing dwelling.

INFRASTRUCTURE

Development within the precinct shall be undertaken in accordance with Council's "*Standards & Requirements for the Design, Construction and Development of Infrastructure Assets – Guidelines for Undertaking Land Division*". The link to the Guidelines is contained below:

[Guidelines-for-undertaking-Land-Division-document-March-2021.pdf \(barossa.sa.gov.au\)](#)

Service authorities

Land division must include appropriate infrastructure for a new community and early communication with service authorities is essential so that their respective requirements can be met. These services are generally provided at the applicant's cost as part of the development proposal. They include:

- Water supply
- Electricity
- Road network
- Street lighting
- Common driveways
- Telecommunications
- Stormwater management
- Wastewater management
- Street trees

Details are provided with respect to each service under headings below. You can also find out more information via the link below:

[SA.GOV.AU - Subdividing land \(www.sa.gov.au\)](#)

Water supply

Land division must provide for the augmentation and financial costs of extending the SA Water main, in accordance with SA Water requirements. SA Water undertake an initial assessment at the land division assessment stage and if approved, the requirements must be met prior to clearance.

Electricity

The developer is responsible for providing new electricity connections to the new allotments. Augmentation charges are subject to the technical and financial requirements of SA Power Networks. For further information, please visit:

[SA Power Networks](#)

Road network

The road network is largely established in Kalbeeba West and substantive road networks are therefore not expected. New roads, where required, are likely to be in the form of stub roads, off Calton Road for example.

New allotments to Calton Road are encouraged to gain access from the internal road/driveway, such that additional access to Calton Road is avoided.

New roads are required to be minimum 7 metres wide with mountable kerb and gutter to match existing profile.

Access points to public roads should be sited and designed to minimise adverse impacts on neighbouring properties such as through noise impact or headlight glare.

New roads should be designed to accommodate the intended traffic volumes, be constructed and sealed to recognised engineering standards and be built in accordance with Council's technical requirements and standard drawings.

Street lighting

Where public roads are proposed, street lighting shall be provided in accordance with Council's Guidelines for Undertaking Land Division.

Common driveways

Common driveways are suitable arrangement under the *Community Titles Act 1996* where a shared driveway is proposed. In this scenario, the constructed driveway must be 4m wide where serving not more than two dwellings or 5.5m where serving three or more dwellings. In latter scenario, pursuant to Australian Standard 2890, Part 1, an additional 0.3m additional clearance on either side of the driveway, making total width of 6.1m is desired.

Driveways serving a single dwelling may be constructed of compacted rubble but common driveways serving two or more dwellings should comprise sealed material to eliminate dust.

Refuse collection is an essential part of service for residential allotments and where Community Title land division is proposed, the driveway should support the access and turn-around of a refuse vehicle. An agreement is required with the service provider should private access be required.

Telecommunications

Developers are responsible for providing telecommunications within their developments. For further information, please visit the following page:

<https://www.infrastructure.gov.au/departments/media/publications/telecommunications-new-developments>

Drainage

A Stormwater Management Strategy has been prepared for the Kalbeeba West Precinct titled "*Gawler East Residential, Stormwater Management Strategy, Northern Catchment*", prepared by Wallbridge & Gilbert, dated 6 March 2011.

Development should be designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site at completion, such that the development does not increase the peak flows in downstream systems.

Stormwater design and management will need to be addressed at the land division stage and developers must demonstrate that land division will not increase downstream flows and new allotments must not be impacted by stormwater flow paths or flooding in 1% average exceedance probability (AEP) event. Parts of the precinct are in a high risk zone and specific detention requirements will apply to account for the flood risks in the area. The stormwater detention requirement may be to limit the 1% AEP post-development peak discharge to not more than 20% AEP pre-development peak discharge, due to the restricted outfall capacity.

Stormwater design may include:

- Swales within road reserves to slow flows;
- Roads designed as overland flow paths;
- Pipes to be designed for intended flows;
- Stormwater detained on-site through swales and/or detention basins;
- Longitudinal drainage under driveways to maintain flow paths;
- Energy dissipation devices to avoid erosion.

Easements may be required where pipes traverse over private land or to preserve an overland flow path. Some sites within the precinct are subject to overland flow and land division may not be possible in this circumstance unless it can be demonstrated that a site can be developed without being subject to inundation or where flooding may result elsewhere.

The use of pumping systems is not favoured and allotments should be designed to allow for gravity discharge of stormwater.

Stormwater detention reserves subject to transfer to Council are not encouraged and if proposed, the asset owner (ie. Council) must ultimately accept the asset.

Applicants should consider engaging the services of an experienced and qualified stormwater engineer to assist with their stormwater design.

Where approved, the stormwater infrastructure must be constructed before land division can be cleared. This also extends to Community Title division where shared stormwater infrastructure is proposed.

Wastewater disposal

Kalbeeba West is not serviced by sewer or a communal wastewater management system (CWMS) and therefore allotments are subject to on-site wastewater disposal, pursuant to the *SA Public Health Act 2011*. New allotments must be capable of accommodating an approved on-site wastewater disposal system that complies with Council's requirements. The wastewater disposal area must achieve a setback of at least 50m from any watercourse, drainage channel, water body, well or bore.

For further information regarding wastewater requirements, please visit the following website:

<https://www.barossa.sa.gov.au/development-business/wastewater-management>

Street trees

Street tree planting is desired where new allotment frontages are created in order to enhance and reinforce the established street tree plantings that are a feature of Kalbeeba West. New tree plantings are desired at a rate of one tree per allotment created. The species and location can be negotiated at time of assessment.

New roads and driveways should be designed to avoid the removal of established trees wherever possible. If access to the new allotment/s is not possible without removing one or more street trees, approval is required for removal of the street tree.

Tree removal is subject to tree maintenance request. The removal of trees on Council land is generally confined to where the tree is showing sign of decline or if of the tree is a health or safety risk to the community. In weighing up the request, consideration will be given to the reasons for the request, the amenity and landscape value of the tree, the health of the tree, its structure etc.

If supported, Council will remove the tree on your behalf, subject to the relevant fee being paid.

Street furniture and street infrastructure

Applicants should identify any street infrastructure such as signs, side entry pits etc. that may be affected by the development.

Where the infrastructure is Council owned, Council will ascertain whether the infrastructure can be relocated. Costs for relocating Council infrastructure will be the responsibility of the developer.

Where the infrastructure is not Council owned, it will be the responsibility of the applicant to contact the owner of the relevant infrastructure in order to ascertain whether relocation can be achieved.

All infrastructure must be satisfactorily completed before clearance of the land division.

FURTHER INFORMATION

Please note the information contained in this information sheet is of a general nature only and is prepared for preliminary guidance only.

Further clarification of these matters can be obtained from the Development Services Department on 8563 8444 or email development@barossa.sa.gov.au