



The Barossa Council

**Standards and Requirements for the Design,
Construction and Development of Infrastructure Assets.
Guidelines for undertaking Land Division.**

Document Information

Document	Key Information
Document Title	Standards and requirements for the design, construction and development of infrastructure assets. Guidelines for undertaking land division.
Document Owner	Director Infrastructure and Environmental Services
Document Control Officer	Engineer
Next Review Date	15 June 2026
Supersedes	All previous fact sheets and guidelines

Revision Register

Revision	Description of Revision	Authorised by	Date
1.0	Issued for use	Council	18 July 2017
2.0	Change of Legislation to Planning, Development & Infrastructure Act 2016	CMT	16 March 2021
3.0	Minor Amendments	N/A	10 May 2024
4.0	Extensive review in alignment with current best practice	Council	15 April 2025

INTRODUCTION

A land division is the division of land into at least two allotments which are held independently of one another or a boundary realignment.

A community title is the division of land into at least two allotments and includes an area of common property (typically a driveway).

There are two types of community title depending on the nature of the scheme:

1. A community scheme
2. A community strata scheme

In South Australia development approval shall be obtained before land may be divided. This approval is required pursuant to the *Planning, Development and Infrastructure Act 2016* and the *Real Property Act 1886* and applies whether a boundary between neighbouring property is shifted, one or more allotments is created, or for large-scale developments of numerous allotments.

A proposal for the division of land is assessed against the provisions of the Planning and Design Code to ensure the orderly and economic supply of land.

PLANNING AND DESIGN CODE

The Planning and Design Code is the single source of planning policy in South Australia. The Planning and Design Code describes the way land should be developed for different areas, the types of development preferred and the policies and standards against which land division proposals are assessed.

The Planning and Design Code guides the construction of roads, public services, open space, layout and dimension of allotments in suitable areas, placement of existing or required easements etc.

Policies cover a range of social, environmental and economic matters including planning, building, heritage and environmental protection. Such policies are set out in terms of word descriptions, zoning maps, diagrams and tables.

This guideline shall be read in conjunction with the Planning and Design Code.

STANDARD REQUIREMENTS

The *Planning, Development and Infrastructure Act 2016* specifies mandatory land division requirements and shall be read in conjunction with this guideline.

This guideline establishes the minimum criteria to be satisfied by the applicant of land divisions within the Council area. It will assist in undertaking preliminary planning and design work and assist to facilitate discussion with Council prior to lodgement of a development application.

The statement of requirements provided in this guideline will form the conditions and requirements of Council with respect to approving a land division. The standards have been prepared to encourage 'best practice' in the development of urban and rural areas within the Council area.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 3 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

Information required in land division applications includes a plan drawn to a reasonable drafting standard and in the format prescribed by Schedule 8 of the *Planning, Development and Infrastructure (General) Regulations* showing:

- All allotments
- Roads, pavements and reserves
- Open space (12.5% and/or monetary payment)
- Water supply
- Sewage disposal facilities
- Stormwater drainage
- Waste disposal
- Gas, electricity, public lighting and communications
- Easements

Once approved, the applicant shall complete the construction of the above to the reasonable satisfaction of Council and all relevant authorities, covering all associated costs.

PROFESSIONAL ENGINEER

When seeking construction approval from The Barossa Council, a professional engineer shall provide detailed design drawings conforming to drawing standards, calculations and specification for:

- Road layouts, including sub-base course, base course and road sealing,
- Community Wastewater Management Scheme (CWMS), and
- Stormwater drainage systems etc.

The design shall be in accordance with relevant Australian Standards, technical codes of practice, Australian Road Rules and in line with current engineering practice. Noting specifications shall take precedence over construction drawings.

The applicant is to submit an electronic PDF format of all drawings and specifications relating to the land division. The drawings and specifications shall be approved by Council, in writing before any construction commences.

FURTHER ADVICE

The applicant is encouraged to consult with Council's Works and Engineering Services and Development Services teams and other relevant authorities during design preparation.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 4 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

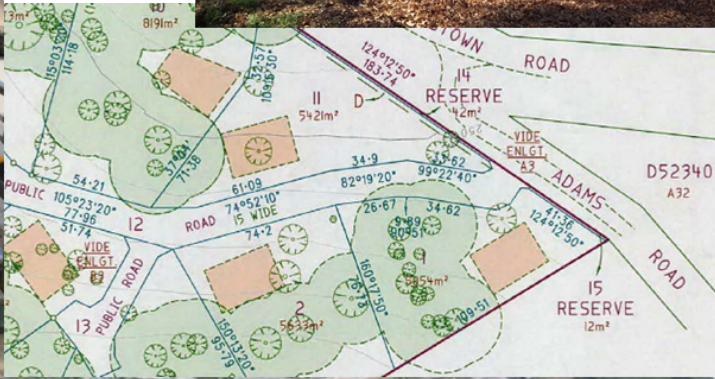
Table of Contents

STATEMENT OF REQUIREMENTS	8
1. LAND DIVISION	8
1.1 Design	8
1.2 Battle-Axe Allotments.....	9
2. ROADS AND PAVEMENTS	9
2.1 Road Reserve and Road Width	10
2.2 Road Design.....	11
2.3 Pavement Design	11
2.4 Road Sealing and Pavements	11
2.5 Traffic Control Devices	11
2.6 Road Verge	12
2.7 Kerbs and Gutters.....	12
2.8 Vehicle Access and Crossover	12
2.9 Corner Cut-Off	13
2.10 Earthworks	13
2.11 Continuous Grade	13
2.12 Buffer Reserve Strip	13
2.13 Easements	13
2.14 Drawings and Specifications.....	14
2.15 Practical Completion	14
3. STREET NAMES AND SIGNAGE	14
4. FOOTPATHS	15
4.1 Footpaths.....	15
4.2 Cyclist and Shared Paths.....	15
5. CAR PARKING	16
5.1 Car Parking Space or Area	16
5.2 Car Parking Construction	16
6. SERVICES AND INFRASTRUCTURE.....	16
6.1 Underground Services.....	16
6.2 Electrical/Lighting	16
6.3 Water Supply	16
6.4 Wastewater Disposal.....	17
6.5 Communications	17
6.6 Damaged Infrastructure	17
7. LANDSCAPING AND OPEN SPACE.....	17

7.1	Landscaping and Open Space.....	17
7.2	Street Trees/Roadside Vegetation	19
7.3	Furniture	19
7.4	Playgrounds.....	19
7.5	Lighting	19
7.6	Fencing	20
8.	STORMWATER DRAINAGE	20
8.1	Drawings and Site Inspections	21
8.2	Site Discharge	21
8.3	Land Division Drainage System	21
8.4	Development Building Levels	22
8.5	Detention.....	22
8.6	Pollution Control.....	24
8.7	Works External to Site.....	24
8.8	Rear Allotment Drainage and Easements	24
8.9	Discharge to Watercourse	25
8.10	Open Drainage Channel	25
8.11	Stormwater Infrastructure	25
8.12	Pumped Discharges	25
8.13	Flood Prone Land	26
9	COMMUNITY WASTEWATER MANAGEMENT SYSTEMS	27
9.1	Augmentation Fee (connection charge)	27
9.2	Disconnection of Inspection Points	28
9.3	As Constructed Survey	28
10.	ENVIRONMENTAL PROTECTION	28
10.1	Site Management.....	28
10.2	Local Nuisance/Litter Control	28
10.3	Working Hours	30
11.	COMMUNITY TITLE DEVELOPMENT.....	30
11.1	Access.....	30
12.	COUNCIL LAND	31
12.1	Entry statements	31
12.2	EV charging.....	31
12.3	Verandas over footpaths	31

Appendix 1 - Road Cross Sections

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 6 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				



Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 7 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

STATEMENT OF REQUIREMENTS

1. LAND DIVISION

1.1 Design

A land division layout should provide a strong and positive identity, responding to:

- Site characteristics
- Setting
- Landmarks
- Views
- Natural (i.e. significant vegetation) and cultural features.

Accordingly, a site analysis plan and/or masterplan should be prepared (for divisions greater than 5 allotments or where appropriate) which details:

- Features and characteristics of the subject site
- Drainage and open spaces
- Contours and geotechnical conditions
- Views and vistas to and from the site
- Surrounding community facilities
- Existing and proposed easements
- Connection with surrounding streets, regional and local pedestrian and cycle path networks

Lot design and layout should provide a mix of lot size and enable a variety of housing types to be developed.

Opportunity for higher densities should be provided in areas close to:

- Services
- Public transport
- Public open space

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 8 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

1.2 Battle-Axe Allotments

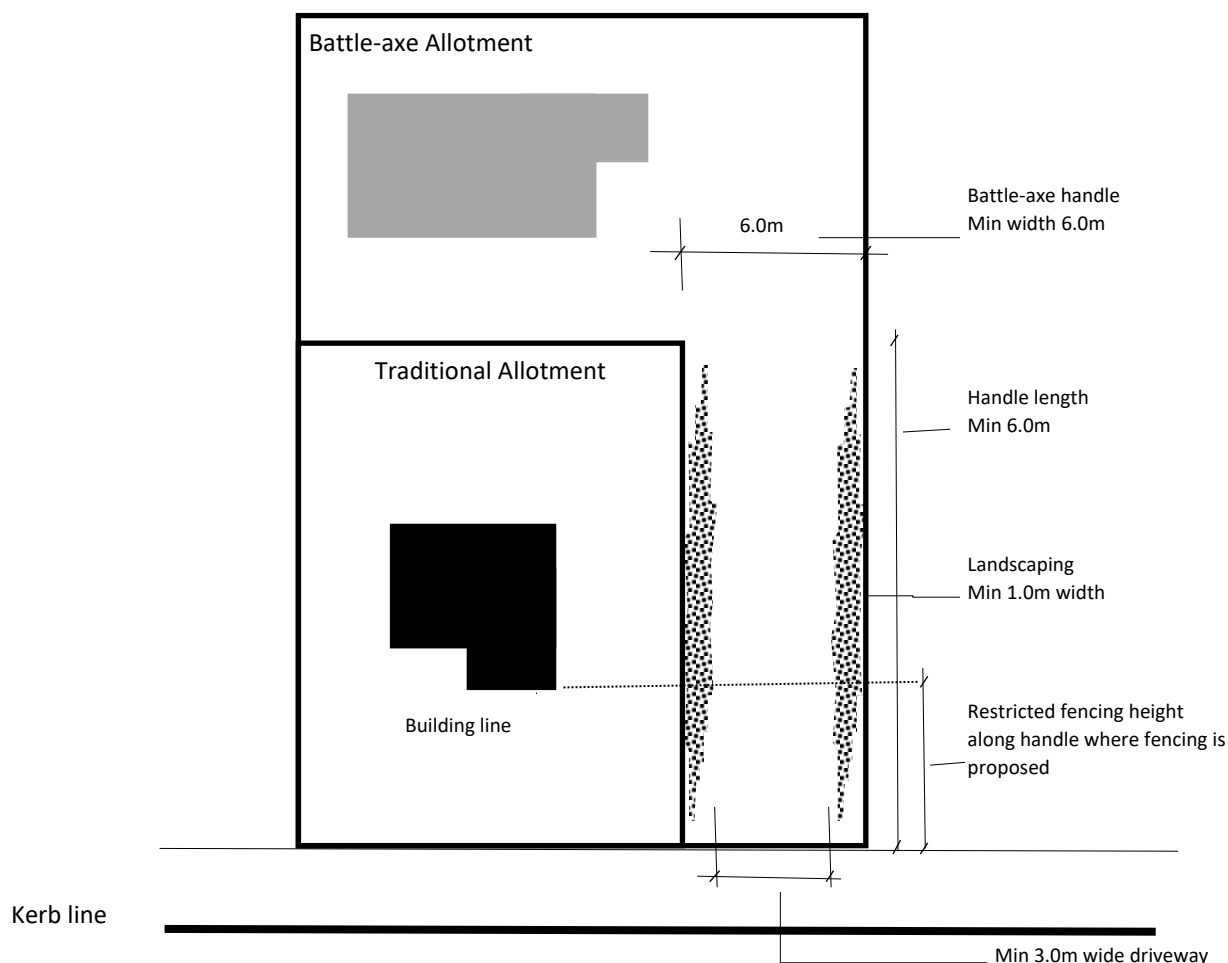
Battle-Axe allotment indicates an allotment that comprises:

- A driveway (and any related open space) that leads back from the road to the balance of the allotment; and
- The balance of the allotment, that is the principal part of the allotment does not have a boundary with the road.

Battle-axe allotments are not permitted in 'greenfield' developments.

The 'handle' of battle-axe/hammerhead allotments should maintain a minimum width of 6.0 metres, which consists of a driveway width of 3.0 to 4.0 metres and 1.0 metre width landscaping strips on both sides of the driveway and extend for a distance of 6.0 metres from the boundary.

An existing dwelling should be set back at least 0.9 metres from the 'handle' driveway/boundary.



Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 9 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

2. ROADS AND PAVEMENTS

The provision of a road network within a land division is to be designed to provide:

- Convenient and safe access to all allotments for pedestrians, vehicles and cyclists.
- Safe, logical and hierarchical transport linkages with existing street system.
- Appropriate access for buses, emergency and service vehicles.
- A quality product that minimises maintenance costs.
- A convenient way for public utilities.
- Street landscaping.
- Convenient parking for visitors.

A road hierarchy is essential to maximise road safety, residential amenity and legibility. Each class of road serves a distinct set of functions and is designed accordingly.

The Barossa Council's Road Hierarchy has the following classes of road applied to sealed and unsealed roads:

- Boulevard/distributor road 1 and 2
- Collector road 1 and 2
- Local road for townships and urban areas (also applies to rural areas, noting rural areas will not include a footpath and may be unsealed)
- Laneway

All road cross section configurations are required to be fit for purpose for the expected:

- Road hierarchy;
- Traffic volume/s;
- Density of adjacent development;
- Pedestrian activity.

The road sections are contained in Attachment 1.

Some road cross sections contained in Attachment 1 are specific to Concordia only.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 10 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

2.1 Road Reserve and Road Width

Minimum road reserve widths are shown in Attachment 1.

Additional minimum road reserve widths include:

- Cul-de-sac ends 25m
- T turnaround ends 14m

Additional road requirements include:

- Cul-de-sac ends (circular) 12.5m radius in bushfire prone areas
9m radius (at gutter invert) elsewhere
- T turnaround ends 14m leg length (from the T junction)

Refer Appendix 1 for Road Cross Sections, including Concordia.

2.2 Road Design

All roads and intersections shall be designed in accordance with current *Austrroads Guide to Road Design* (all Parts). The following requirements shall be noted:

- Adequate vehicle swept path space (bulbing) shall be provided at road on bends to assist traffic movements. Bulbing shall be equally spaced about the road centreline.
- Cul-de-sac and T turnarounds ends are to be designed to enable a large single unit vehicle, e.g. Council waste compactor, to undertake a U turn or three point turn.
- Minimum road grades shall be 0.5% and maximum road grades shall be 15% unless approved by Council.
- All roads shall be crowned.
- One-way crossfall is not permitted.
- Road geometry and pavement design shall provide safe and convenient movement of buses and suitable spatial allowance for the provision of bus stops and associated through-carriageway and roadside parking.
- In local roads, road segments should generally not exceed a length of 200m (ie. between intersections).
- Staggered T-intersections in local roads requires minimum offset of 40 metres (centreline to centreline).
- Indented car parking shall be provided adjacent designated open space reserves.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 11 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

2.3 Pavement Design

Geotechnical test results shall be provided to the Council's Infrastructure and Environmental Services team with the pavement design and calculations for engineering approval.

All road pavements are to be designed using 95 percentile confidence limits for the ultimate traffic loading and a 40 year design life. Pavements are to be designed in accordance with:

- Austroads 'Guide to Pavement Technology Part 2: Pavement Structural Design',
- Austroads 'Pavement Design for Light Traffic: A Supplement to Austroads Pavement Design Guide', and
- Austroads 'Guide to Asset Management Part 5: Pavement Performance'.

2.4 Road Sealing and Pavements

The pavement of proposed roads shall be extended to join the pavement of adjoining roads, including road connection and/or intersection upgrade in accordance with relevant standards based on anticipated traffic volumes.

All urban road pavements are to be sealed with an AC10, 40mm thick bituminous hot mix wearing course. Heavier pavement treatments on junctions may be required on steeper terrain.

Consideration will be given for sealing rural roads in some areas, with a 14mm / 7mm two coat bituminous spray seal wearing course required.

2.5 Traffic Control Devices

All necessary signs, traffic control devices and pavement markings shall be provided in accordance with *Australian Standard – AS1742 Manual of Uniform Traffic Control Devices*.

All statutory approvals shall be obtained from Department for Infrastructure and Transport (DIT) for traffic control devices.

2.6 Road Verge

- The road verge on both sides of a carriageway shall be a minimum width of 3.5m.
- A 2.5% grade shall be provided towards the top of kerb with 100mm of clean topsoil.
- Batters into allotments are to be no steeper than 1 in 6.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 12 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

2.7 Kerbs and Gutters

All roads within designated townships shall be provided with kerb and gutter, The following requirements shall be noted:

- 150mm high upright kerb shall be provided adjacent allotments.
- 200mm high upright kerb shall be provided adjacent all reserves and non-residential properties.
- Where an alternative kerb type is regionally predominant, continuation of the existing kerb type may be considered by Council.
- Minimum longitudinal grade for kerb and gutter shall be 0.5%, including at intersections and around bends.
- Kerb outlet sleeves for the disposal of stormwater shall be provided on the lowest side of each allotment that drains to the road.
- Kerb inverts and crossing places shall be provided in upright kerbs for safe and convenient access to allotments where necessary.
- Rural areas require roadside drainage swales.

If any portion of an existing entranceway is to be amended to accommodate a proposed entranceway, it shall be removed and re-instated with kerb and gutter, together with appropriate restoration of the footpath and verge.

2.8 Vehicle Access and Crossover

The applicant shall seek authorisation from Council, pursuant to *Section 221 of the Local Government Act 1999*, to alter a road to permit or facilitate access from an adjacent property. Authorisation is not required if the alteration is approved as part of a development authorisation under the *Planning, Development & Infrastructure Act 2016*.

A vehicle all weather verge crossover is to be provided for each allotment as below:

- Single driveways shall be no greater than 3.5m wide (at property boundary)
- Double driveways shall be no greater than 6m (at property boundary)
- Flaring of up to 0.5m each side of the driveway at the gutter may be permitted dependent on available verge width.

A crossover location shall generally be approved at the property owners preferred position, provided that due regard has been taken to ensure reasonable sight lines and sight distances are maintained at all times for safe vehicle movements (Refer 7.2 Street Trees/Roadside Vegetation).

Crossovers are to be paved from the edge of the water table to the property boundary, at the cost of the applicant. The specific type of surface finish shall be determined by Council. Where the crossover traverses a road side drainage swale an appropriately sized drain is to be constructed in the crossover to provide free and unrestricted flow of stormwater.

All driveway access, car parking and vehicle manoeuvring areas shall comply with *AS/NZS 2890.1 Parking facilities - Part 1: Off-street car parking*.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 13 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

2.9 Corner Cut-Off

Allotments located at intersections shall provide a 4.5m x 4.5m corner cut-off vested to The Barossa Council to allow adequate road and verge widths. Alternative corner cut-off dimension requirements may apply where obtuse angle road alignments or existing road infrastructure are required to be considered.

All fencing structures or other improvements shall be removed from that portion of land affected by the corner cut off, with all cost borne by the developer.

2.10 Earthworks

All earthworks associated with the development shall be stabilised in accordance with certified engineering design and practises against erosion and failure.

Earthworks shall not encroach across neighbouring property boundaries, reserves or road verges.

When fill or cut at the property boundary exceeds 200mm, a retaining wall with existing ground and proposed wall levels shall be specified.

2.11 Continuous Grade

Allotments being created shall be filled to provide a continuous grade of not less than 0.5% from the back of the allotment to the road reserve boundary.

Maximum allotment grades are subject to assessment and approval by Council.

2.12 Buffer Reserve Strip

A 0.1m wide buffer reserve strip may be required along a secondary boundary of the development, to prevent legal access from existing allotments to the secondary road reserve.

2.13 Easements

All Stormwater and CWMS infrastructure located within private property shall be constructed within an easement vested at the cost of the applicant to the The Barossa Council:

- The easement(s) shall be a minimum width of 3 metres and located to the satisfaction of Council.
- Where shared with both CWMS and stormwater drainage infrastructure the easement shall be a minimum width of 4 metres.
- Wider easements may be required subject to service type and depth.

2.14 Drawings and Specifications

Design drawings and specification shall be provided for separate construction approvals for the following: earthworks, base course, sub-base course, road sealing, etc., for large, staged development.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 14 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

2.15 Practical Completion

All construction test results shall be provided to Council and approved prior to the Certificate of Practical Completion being issued.

An as constructed survey is to be performed on all infrastructure and services and provided to Council in DWG and PDF format prior to the granting of practical completion, to adequately inform Council's Asset Management data base of all works performed.

Defects Liability Period for the development is desired to be 12 months from written acceptance of Practical Completion of the civil works associated with the development. Council's standard approach is to enter an infrastructure agreement with the developer to outline the obligations of the developer to address defects within the defects liability period.

Council may agree to bonding of the civil works associated with the development following an application in writing from the developer to do so.

Bonding of an amount to Council's satisfaction may be in the form of Bank Guarantee or cash payment, calculated as follows:

- Defects & Omissions and incomplete works, (eg landscaping, fencing, footpath construction etc) calculated as total quoted value of works as agreed by Council, inclusive of GST.
- 12 Month Defect Liability Period, calculated as 10% total contract price (inclusive of GST) less amounts for items already bonded by other authorities.

Bank Guarantees are required to be in favour of The Barossa Council and be open ended (ie no end date).

Such bonding shall be received by Council prior to the development being granted clearance under the Planning, Development and Infrastructure Act.

3. STREET NAMES AND SIGNAGE

Suggested street names of a historical Barossa nature can be supplied to Council and will be considered in accordance with Council's *Property Identification Policy*.

Approved street signs shall be supplied and installed at the cost of the applicant, to indicate the appropriate streets to the reasonable satisfaction of Council.

Street signs shall generally be located 1.85m from back of kerb (to face of pole) or in accordance with: *AS1742.5. Manual of uniform traffic control devices Part 5: Street name and community facility name signs*.

Street signs shall comply with the Australian Standards, be provided with a 200mm pointer blade and be installed prior to the issue of Certificate of Practical Completion.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 15 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

4. FOOTPATHS

4.1 Footpaths

Footpaths shall be provided on one side of the roadway in Local Roads and on both sides of the roadway in Collector and Boulevard/Distributor Roads, at the cost of the applicant. Footpaths shall be located adjacent to property boundaries and coordinated to generally be located over common service trenches.

Where provided on one side of the roadway only, footpaths shall generally be provided on the side with the least intersections or most allotments. The location of all footpaths is approved by Council's Infrastructure and Environmental Services team.

Footpaths shall be constructed and finished in bitumen or concrete (plain grey, broom finish) to the approved construction standard and requirements of Council. Exposed aggregate footpaths are not permitted. Where an alternative footpath type is regionally predominant, continuation of the existing footpath type may be considered by Council.

Footpaths shall be constructed for a 40 year design life with the following requirements:

- Footpaths shall have a minimum width of 1.5m
- Grade towards the kerb and gutter with a cross-fall not exceeding 2.0%
- Concrete footpaths shall be a minimum thickness of 150mm and include appropriately sized steel reinforcing mesh.
- Footpath base and sub-grade materials shall be designed to suit the prevailing soil properties
- Footpaths shall be constructed to ensure sustained structural integrity during the construction of adjacent dwellings.
- In accordance with *AS1428 - Design for access and mobility*: The applicant is to provide pedestrian pram (wheelchair) ramp access, including tactile ground surface indicators.
- In accordance with *Austroads Guide to Road Design Part 6A: Paths for Walking and Cycling* - Wider footpaths may be required.
- All concrete footpaths shall be constructed prior to Certificate of Practical Completion (CPC) being issued.

4.2 Cyclist and Shared Paths

Cycle paths and shared paths shall be designed in accordance with: *Austroads Guide to Road Design Part 6A: Pedestrian and Cyclist Paths* and the DIT publication '*Guide to Bikeway Pavement Design Construction and Maintenance for South Australia*'.

Cycle paths shall be constructed and paved to the satisfaction of Council.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 16 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

5. CAR PARKING

5.1 Car Parking Space or Area

Each car parking space or area abutting a walkway, footpath, landscaping area, fence or shop frontage shall be provided with a vehicle wheel stop or a 900mm high bollard, prior to the occupation or use of the development.

Parking shall be restricted within cul-de-sacs and T Turnarounds where it may affect the turning manoeuvre.

5.2 Car Parking Construction

All car parking, driveways and vehicle manoeuvring areas shall be constructed and finished in bitumen, or concrete in accordance with approved engineering procedures prior to the occupation or use of the development.

6. SERVICES AND INFRASTRUCTURE

6.1 Underground Services

All services, including communications and electricity, shall be placed underground to the requirements of the relevant service providers.

Services shall be provided in an appropriately located common service trench. The Common Services Trench design shall be coordinated to generally be located adjacent property boundaries, under footpaths.

The designs of all underground services shall provide for the coordinated provision of all required infrastructure, with due regard to future vehicle parking, driveway locations, street trees and footpath requirements.

6.2 Electrical/Lighting

Street lighting is to be provide throughout a land division in urban areas. Consideration to intersection lighting treatments only, may be considered in rural areas.

All street lighting and poles shall be of an approved SA Power Networks standard and installed to Council satisfaction, at the cost of the applicant.

Underground electrical power shall be provided to each allotment in accordance with a design approved by SA Power Networks and Council. The lighting system shall comply with SA Power Networks standards.

Pad mounted transformers and switching cabinets shall not be located in Council reserves. If a Council reserve is demonstrated as the only possible location, they are to be located to the side boundary of the reserve and appropriately screened with landscaping and vegetation to the satisfaction of Council.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 17 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

6.3 Water Supply

To ensure the provision of an adequate water supply to each created allotment, where required water supply services, shall be installed in accordance with design requirements and relevant standards of SA Water.

6.4 Wastewater Disposal

To ensure the provision of an adequate waste disposal from each created allotment, wastewater disposal services, where required, shall be installed in accordance with design requirements and relevant standards of:

- SA Water
- SA Health
- Water Services Association of Australia
- The Barossa Council

6.5 Communications

To ensure the provision of an adequate supply to each created allotment, where required communication network services, shall be installed in accordance with design requirements and relevant standards of the service provider.

6.6 Damaged Infrastructure

Any portion of Council's infrastructure damaged as a result of work undertaken, on or associated with the development shall be repaired/reinstated to Council's satisfaction at the cost of the applicant.

7. LANDSCAPING AND OPEN SPACE

Public open space contributes to community wellbeing and providing opportunities for relaxation, recreation, social interaction and connection with nature. Council's guiding principles shall be considered when designing and delivering open spaces:

- Accessibility: Accessible to everyone, including those with disabilities, ensuring safe, convenient, and enjoyable experiences for all residents.
- Amenity: Greening and cooling of the urban environment and a spatial setting for housing
- Conservation: Protection, enhancement and integration of natural features and cultural sites
- Recreation: Both active and passive
- Sustainable: Sustainable selection of recycled, composite and natural materials. Sustainable design practices, including water and vegetation.
- Utility: Stormwater management, land uses buffers and land restoration.

Public open space shall be provided in accordance with Council's approved plans, strategies and guidelines, and the requirements of the *Planning Development and Infrastructure Act 2016*.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 18 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

7.1 Landscaping and Open Space

Council's general design principles shall be considered when planning streetscapes and open spaces. Consideration shall be given to:

- Sustainable future maintenance:
 - Appropriate plant selection for the environment or location
 - Drought tolerant selections, appropriate for the Barossa's changing climate
 - Good quality materials and construction
 - Minimise Council's long term management costs.
 - Connection:
 - Integration of streetscapes, parks, reserves to create habitat corridors.
 - Integration of streetscapes, parks, reserves to create pedestrian and cycle network.
 - Configuration of open space to complement or enhance existing vegetation.
 - New tree planting should reinforce existing regional character
 - Risk and safety:
 - Safety of employees maintaining the area
 - Safety of motorists within vicinity of these areas
 - Clear zones appropriate to the speed of vehicles are maintained where landscaping is adjacent to roads.
 - Landscape design shall not present undue risks, including fire risk.
 - Land division design orientation to incorporate frontages to open space, promoting natural surveillance and community ownership
 - Irrigation:
 - Design and materials to meet Councils minimum standards,
 - Design to deliver sustainable water usage practices.
 - An appropriately sized water meter shall be provided in reserves at no cost to Council in a location determined by the applicant and approved by Council's Infrastructure and Environmental Services team.
 - Environmental:
 - Remove and control noxious and declared weeds and vegetation.
 - Maximise opportunities for water reuse
 - Reducing rate of surface water run-off and improve water quality before leaving the site.
 - Wherever practicable, local indigenous plant species should be used (as recommended by Barossa Bushgardens)
-

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 19 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

The applicant shall submit a landscaping plan showing detailed landscaping proposals, including:

- Topography and terrain
- Location of plantings
- Plant selections and size
- Existing trees to be retained/removed
- Materials selections

The potential impact upon existing native trees and vegetation shall be indicated on the landscaping plan and shall contain the following information:

- Identification of the species, including botanical name
- Accurate location
- Height, canopy and girth of the trunk
- Native vegetation assessment to be completed by a qualified professional, ensuring compliance with the *Native Vegetation Act and Regulations*.

All landscaping and tree planting proposed as part of a development is to be provided to the complete satisfaction of Council.

Landscaping shall be maintained by the applicant for a minimum period of 12 months from practical completion. Council is open to negotiating extended maintenance periods in agreement with developers, aligning with the phasing of the development to deliver consistent visual identity throughout. Council's standard approach is to enter an infrastructure agreement with the developer, outlining the maintenance obligations of landscaping during the maintenance period.

7.2 Street Trees/Roadside Vegetation

Street trees are to be provided in front of all properties at the centre of the allotment, allowing for minimum distance of 1.5m from proposed access point. Where the allotment frontage is a minimum of 10 metres, the rate of one tree per allotment applies. Where the allotment frontage is less than 10 metres, cul-de-sac or corners are applicable, tree locations are to be approved by Council.

Street trees are to be planted within the council verge, the spacing of trees should not exceed 20 metres. Access points or service runs shall consider the impact on the health of existing and proposed street trees.

Kerb tree inlets should be prioritised where soil conditions are compatible and road infrastructure is not compromised.

The removal of any roadside vegetation requires approval from Council, having regard to Council's *Roadside Vegetation Management Plan* and is required to comply with the *Native Vegetation Act 1991 and Regulations*.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 20 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

7.3 Furniture

Park furniture will be approved by Council during the concept plan design stage.

Park furniture shall consider the following:

- Durability
- Sustainable construction materials
- User comfort and accessibility
- Vandalism resistance

7.4 Playgrounds

Playgrounds will be approved by Council during the concept plan design stage.

Playground equipment is required to meet the *Australian Standards for fixed and moveable play equipment (AS 4685:2021)*

7.5 Lighting

Public lighting is required in open spaces under the following conditions:

- Sport and recreation facilities that have provision for night usage
- Large regional open spaces in agreement with council

Council's general design principles shall be considered when planning lighting in open spaces. Consideration shall be given to:

- Lighting paths, structures or features of the open space
- Lighting open spaces that integrate streetscapes, parks, reserves to create pedestrian and cycle networks
- Provision for lighting shall be in accordance with the relevant Australian Standards, including AS1158 Road lighting
- Light poles shall be approved by Council during the concept plan design stage

Energy efficient and solar lighting shall be considered

7.6 Fencing

All allotment boundaries abutting reserves (excluding any 0.1m reserve strip where required) shall be fenced using 1800mm high 'Good Neighbour' Colorbond fencing in "Woodland Grey" unless otherwise approved by Council.

Where allotments are designed to front the reserve, an open style of fencing should be provided and approved by Council.

Ownership of fences and all maintenance costs remain the responsibility of the applicant.

All fencing is to be completed at the cost of the applicant, complying with *The Fencing Act 1975*, to the complete satisfaction of Council.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 21 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

8. STORMWATER DRAINAGE

The applicant is required to install stormwater infrastructure, costs will vary depending on the scale of infrastructure required for the division proposed and are the responsibility of the applicant.

The stormwater drainage design shall include a stormwater and site management plan with supporting computations compliant with the requirements listed below.

- A detailed drainage design for all of the proposed development, and if necessary due to existing land form, including areas outside the proposed development but within the drainage catchment affecting the development.
- The plan shall include details of existing:
 - Contours
 - Features
 - Stormwater infrastructure
- The plan shall include details of proposed:
 - Site works
 - Levels and grading
 - Stormwater drainage system
 - Detention facility including volumes and discharge controls
 - Building floor levels
 - Paving
 - Connection to and any required upgrading of the existing external drainage systems.

The stormwater drainage system shall be designed in accordance with the current edition of 'Australian Rainfall and Runoff' (IEA) and AS/NZS 3500.3 - Plumbing and drainage - Part 3: Stormwater drainage and Council's requirements set out below.

The requirements for stormwater detention are separate to the requirements for stormwater retention.

Stormwater retention systems may be required within the development to maximise on-site reuse via internal plumbing and / or reticulation to gardens and / or soakage systems and as required by current State Government regulations 'South Australian Appendix to the Building Code of Australia' (BCA) and the 'South Australian Housing Code' (SAHC).

8.1 Drawings and Site Inspections

The detailed design drawings shall be submitted to the Infrastructure and Environmental Services team for approval prior to any works commencing.

All site construction work shall be carried out under the inspection of a professional engineer in accordance with the approved plans and specifications.

Council shall be notified 24 hours prior to the following:

- Commencement of any work onsite
- Testing of any/all stormwater drainage pipelines and associated infrastructure
- Backfill of any/all stormwater drainage pipelines and associated infrastructure

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 22 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

8.2 Site Discharge

The controlled discharge from the site shall be connected safely to Council's stormwater drainage system. The discharge to council's drainage system or a watercourse shall be consistent with the capacity of the system.

The maximum point discharge to kerb and gutter up to a 10% AEP event shall be 12L/s; 1% AEP event shall be 20L/s.

8.3 Land Division Drainage System

A stormwater management plan shall be based on ultimate development of all allotments. For residential allotments it shall be assumed that 75% of the area of allotments is impervious, unless it is demonstrated that an alternative is appropriate.

All stormwater drainage infrastructure shall function as a gravity system. Pumped systems are not permitted without written Council approval.

The underground system shall provide for runoff generated by a minimum 5% AEP (minor) event with gutter flow widths limited to a maximum of 1.5m.

Overflow paths shall be provided for a 1% AEP (major) event that will prevent stormwater runoff inundating properties. Where an overflow path cannot be achieved for a 1% AEP event or overflow path discontinuity occurs and property flooding may occur, the underground system shall be designed to a minimum 1% AEP event standard, or appropriate detention/storage is required to be provided.

Stormwater runoff from the site shall not discharge onto any adjacent property or the footpath verge.

Stormwater systems shall be designed to minimise the need for rear allotment connections. Where rear of allotment drainage is unavoidable, an appropriate easement is required to be provided.

- Drainage easement(s) are to be vested free of costs to The Barossa Council.
- The easement(s) shall be a minimum width of 3 metres and located to the satisfaction of Council.
- Where shared with CWMS infrastructure the easement shall be a minimum width of 4 metres.
- Wider easements may be required subject to service type and depth.

8.4 Development Building Levels

Where an allotment grades towards a roadway, driveway levels at the boundary shall be specified at a minimum of 225mm above the adjacent street water table level and floor levels shall be a minimum 300mm above the highest adjacent street water table level.

Where an allotment grades away from a roadway, a continuous barrier shall be specified (including any driveway) along the frontage boundary at a minimum of 300mm above the adjacent water table levels.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 23 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

8.5 Detention

Any increase in stormwater flows from a development shall be managed on site to minimise the impact on Council's stormwater infrastructure, water courses or other properties.

Stormwater detention systems shall be incorporated within the development to ensure that the peak flow rate discharging from the whole development site post development does not exceed the peak flow rate from the pre-development site. The post development analysis is required to demonstrate that critical storm duration is clearly identified. The outlet restriction system details and hydraulic design computations are required.

Detention basin design shall consider all risks resulting from storms exceeding 1% AEP.

Any stormwater detention basin shall have:

- A flat verge with a minimum width of 4 metres around the edge to facilitate access of maintenance equipment
- Batters with a maximum slope of 1 (vertical) in 6 (horizontal)
- Minimum 300mm freeboard from the maximum water level to the top of bank.

Detention basins shall be seeded and landscaped to Council's satisfaction.

Detention basins shall not incorporate retaining walls, or rocks within mowed areas.

Land used for detention basins, swale drains and overland flow paths shall be designated as 'drainage reserves'.

Post-development peak rate of runoff from the site shall not exceed the pre-development peak rate of runoff from the site or the maximum acceptable discharge to Council's infrastructure, whichever is the lesser. (Refer table below for Pre-development and Post-development design storms).

PROPOSED DEVELOPMENT	AVERAGE EXCEEDANCE PROBABILITY (AEP) and MAXIMUM DISCHARGE RATES
• Residential development up to 2 dwellings.	Detention shall be provided to limit the 20% AEP post-development peak discharge to the 20% AEP pre-development peak discharge from the site or the maximum acceptable discharge, whichever is the lesser.
• Residential Development of more than 2 dwellings. • Undeveloped vacant land. • Commercial and industrial development.	Detention shall be provided to limit the 5% AEP post-development peak discharge to the 5% AEP pre-development peak discharge from the site or the maximum acceptable discharge, whichever is the lesser.
HIGH RISK ZONE & DEVELOPMENT • Residential development of more than 2 dwellings. • Undeveloped vacant land. • Commercial and Industrial development.	Detention shall be provided to limit the 1% AEP post-development discharge to the 5% AEP pre-development discharge from the site or the maximum acceptable discharge, whichever is the lesser.

Note:

1. Refer to Council for High Risk Zone and Development assessment
2. Stormwater detention is not required for residential development less than 100m² roof area.

When open natural land is developed and runoff may impact on natural streams, development or properties downstream the following applies:

- The impervious areas may impact on flood risk in severe storms. This can be mitigated by detention systems to reduce storm peak flows post development to no more than pre-development, for major storms.
- With high frequency rainfall events (say up to 50% AEP/2 year ARI)
 - Natural catchments usually absorb these rainfall events with little or no runoff,
 - With impervious areas runoff occurs from these events,
 - The impact on the downstream water course will be a significant unnatural increase in the frequency and duration of flows downstream,
 - Detention systems alone will not work on reducing these frequent flows,
 - These increases impact particularly on natural stream by being unnaturally frequently wet, affecting grasses, scouring etc,
 - It should be considered to provide a retention/re-use/soakage system (for say a 1 or 2 year storm) to withhold these frequent flows to closely mirror natural runoff characteristics. A more reliable management method is installation of underground stormwater base flow pipe system to convey the regular stormwater flows to the most appropriate formed watercourse with capacity to accept the regular flows.
 - Both detention and retention/base flow infrastructure are necessary to closely mirror pre-development runoff characteristics downstream

8.6 Pollution Control

Stormwater runoff shall be treated to achieve desired water quality levels consistent with current best practice and the Environmental Protection Authority's '*Stormwater Pollution Prevention code of practice for local, state and federal government*'. Council supports Water Sensitive Urban Design (WSUD) initiatives.

Pollution control devices shall be incorporated within commercial and industrial development to provide for the removal of gross pollutants, silt, grease, oil and possible harmful chemical pollutants. This requirement applies during the construction period and also applies to the completed build to protect the downstream drainage systems.

Silt, grease, oil and solid pollutants shall be removed from car parks where the number of parking lots exceeds nine.

8.7 Works External to Site

All required works extending beyond the development boundary is subject to an infrastructure agreement with Council.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 25 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

8.8 Rear Allotment Drainage and Easements

Stormwater systems shall be designed to minimise the need for rear allotment connections. Where rear of allotment drainage is unavoidable, stormwater infrastructure located within private property shall be included in an easement vested at the cost of the applicant to the The Barossa Council:

- The easement(s) shall be a minimum width of 3 metres and located to the satisfaction of Council.
- Where shared with both CWMS and stormwater drainage infrastructure the easement shall be a minimum width of 4 metres.
- Wider easements may be required subject to service type and depth.

8.9 Discharge to Watercourse

Any direct connection of a stormwater drainage system to a water course shall incorporate scour protection measures and shall not obstruct flows in the water course.

Any discharge to a watercourse shall be consistent with the capacity of the system.

All necessary approvals from the relevant authority shall be sought for discharging into a watercourse.

8.10 Open Drainage Channel

Any required open drainage channel shall be designed so that it does not scour, with a minimum requirement of grass lining.

Batters shall be no greater than 1 on 6 for safety and to facilitate maintenance, i.e. slashing.

8.11 Stormwater Infrastructure

The desirable minimum gradient of stormwater drainage shall be 0.5%. Where this is unachievable, minimum pipe gradients in accordance with *Austroads Guide to Road Design Part 5A: Drainage: Road Surface, Networks, Basins and Subsurface* require Council approval. The following requirements shall be applied:

- Minimum pipe size for road drainage shall be Ø375mm and Rubber Ring Jointed (RRJ).
- Minimum size of reinforced box culverts shall be 300mm (W) x 225mm (H).
- Minimum pipe size for rear of allotment drains shall be Ø225mm (PVC).
- All Side Entry Pits shall be Double Side Entry Pits.
- Deflectors shall be provided on Side Entry Pit aprons where the gutter approach grade is greater than 3%. Deflectors shall not be used for Side Entry Pits located at sag points.
- Generally side entry pit spacing should not exceed 100 metres.
- All underground stormwater drainage in roadways shall be Reinforced Concrete Pipe (RCP) and Rubber Ring Jointed (RRJ). Fibre Reinforced Concrete (FRC) pipes is not permitted.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 26 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

8.12 Pumped Discharges

Pumped discharges will only be considered where a gravity drainage system cannot be achieved.

The pump station and rising main shall be designed by an appropriately qualified engineer and include the following:

- The capacity of Council's drainage system.
- Detailed design and documentation of the pump station installation and operation, including provision for power failure and back up.
- Details of the operational and maintenance manual for the property owner.

Pumped discharge from individual allotments (where required) shall comply with the following:

- Stormwater shall be collected in a suitably sized pump sump suitably located within the property.
- Detailed design and documentation of the pump station installation and operation, including provision for power failure and back up, including details of the operational and maintenance manual for the property owner.
- The rising main from the pump sump is to discharge to a suitably sized sump located in private property and then discharge by gravity via a 200x100 galvanised steel box drain connected to the street kerb and water table. The finished verge area shall be free of trip hazards and all works shall be completed to Council satisfaction.
- Pumped discharge shall not outfall direct to the kerb and water table.
- The maximum point discharge to kerb and water table subject to capacity of the system:
 - Up to a 10% AEP event shall be 12 L/s;
 - 1% AEP event shall be 20 L/s
- Ownership and all maintenance of pump/pumping infrastructure will remain the responsibility of the property owner.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 27 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

8.13 Flood Prone Land

Land within the maximum probable floodplain is considered as flood prone land.

Appropriate development of land between the 1% AEP floodplain and the maximum probable floodplain is permitted but shall comply with current best practice floodplain management, planning and environmental principles.

Land within the 1% AEP floodplain shall be preserved. Land between the 1% AEP and 5% AEP floodplain may be considered by Council for appropriate development. Council may consider the following:

- Floodplain properties within the 1%-5% zone are demonstrated to be of a non-conveyance, storage type hydraulic function, such that the development is not likely to have a significant impact on flood levels, the flood conveyance properties of the water course or flood risk to properties.
- The stormwater management system and major flood paths shall be designed to provide a minimum of 1% AEP protection against inundation of any building or flood intolerant structure.
- The development is safe and environmentally responsible.
- The development complies with current best practice flood plain management principles.
- The development is consistent with Council's policies and / or plans for the location.
- No flow- obstructive development is permitted within the 5% AEP floodplain.
- No flow-obstructive fencing or structure is to be placed across a watercourse.
- Dwellings constructed are to have a minimum floor level 300mm above the adjacent 1% AEP flood level.
- Upon the selection of the dwelling location, further assessment shall be undertaken by an appropriately qualified Engineer to specify the appropriate floor level and check proposed site earthworks.
- A flood management plan shall incorporate safe access from any development during a 1% AEP flood.
- A floodplain management report with supporting analysis shall be provided by an appropriately qualified Engineer. The documents shall cover any proposed development within the flood prone land.
- Refer Council's Flood Mapping data available at [The Barossa Council Flood Mapping](#) for known significant flood prone land.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 28 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

9 COMMUNITY WASTEWATER MANAGEMENT SYSTEMS

Where a Community Wastewater Management System (CWMS) has been determined by Council to be the preferred waste water disposal system, the applicant is responsible for the installation of appropriate CWMS infrastructure required to service all allotments created by the land division.

All proposed new CWMS reticulation designs shall be submitted to Council for approval prior to construction and shall comply with requirements of all regulatory authorities:

- SA Health
- EPA
- Office of the Technical Regulator
- Council

Guidelines for different types of CWMS connections, applicable fees and approval processes are available on the Council website.

All CWMS infrastructure located within private property shall be included in an easement vested to The Barossa Council:

- The easement(s) shall be a minimum width of 3 metres and located to the satisfaction of Council.
- Where shared with stormwater drainage infrastructure the easement shall be a minimum width of 4 metres.
- Wider easements may be required subject to service type and depth.

Site inspections

Council's Infrastructure and Environmental Services team will inspect all drainage works carried out for the division and provide clearance to Planning and Land Use Services once works are given practical completion.

Council should be notified 24 hours prior to the following:

- Commencement of any work on site.
- Backfill of all CWMS pipelines and associated infrastructure
- Testing of all CWMS pipelines and associated infrastructure.

9.1 Augmentation Fee (connection charge)

Where the land division is proposed within an area serviced by Council's CWMS, an augmentation fee will be charged by Council for connection to the CWMS. The charge is based on the need to construct additional treatment infrastructure to cater for the additional wastewater.

The augmentation is paid per dwelling/allotment based on a disposals rate of 490L/day utilising SA Health: Design Guideline flow rate.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 29 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

9.2 Disconnection of Inspection Points

The applicant shall provide for the disconnection of any redundant inspection points on the existing CWMS pipeline to the satisfaction of Council.

9.3 As Constructed Survey

Upon practical completion the contractor shall sufficiently verify design plans by arranging a complete 'As Constructed' survey of the CWMS including all features, not limited to:

- Natural surface levels.
- Any fill levels.
- All inverts.
- Top-stone levels.
- All structures.

The completed detail survey shall be issued to Council in .pdf and .dwg file formats. This survey shall be submitted to Council prior to *Certificate of Practical Completion* (CPC) being issued.

10. ENVIRONMENTAL PROTECTION

10.1 Site Management

The applicant shall submit to Council an environmental management plan for approval that addresses all possible sources of pollution during construction.

The environmental management plan should outline the methodology to:

- Minimise the impacts of noise on the amenity of the surrounding areas
- Minimise the impacts of dust on adjacent areas and the community
- Minimise the spread of sediments generated by construction activities
- Minimise soil disturbance, degradation and erosion
- Minimise the disturbance to existing flora
- Minimise the introduction and/or spread of weed species
- Minimise the potential for spills of oils and other noxious substances
- Minimise waste volume, maximise recycling, reuse and recovery
- Prevent any construction waste/litter entering the environment

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 30 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

10.2 Local Nuisance/Litter Control

All operations shall be conducted to comply with the *Local Nuisance and Litter Control Act 2016 and Regulations*.

For the purposes of the *Local Nuisance and Litter Control Act 2016*, local nuisance includes any adverse effect on an amenity value of an area that unreasonably interferes with or is likely to unreasonably interfere with the enjoyment of the area by persons occupying a place within, or lawfully resorting to, the area, that is caused by:

- Noise
- Odour
- Smoke
- Fumes
- Aerosols
- Dust

Exemption of local nuisance

The applicant may apply to Council for an exemption from causing local nuisance in respect of a specified activity pursuant to the *Local Nuisance and Litter Control Act 2016*. Alternatively, Council may determine that a land division, proposed or current, involves or may involve a significant risk of the release or escape of dust affecting adjoining land; and accordingly may request that an application for exemption pursuant to the *Local Nuisance and Litter Control Act 2016* be lodged.

An application for an exemption shall be accompanied by:

- A site nuisance management plan
- All information relevant to the application
- The application fee

A site nuisance management plan shall provide:

- An assessment of the potential for local nuisance and the number of residential and commercial premises occupied by persons likely to be affected by the local nuisance (potentially affected persons);
- A map showing:
 - The proposed location of the activity and the likely fixed sources of local nuisance
 - The location of premises occupied by potentially affected persons and the distance of the premises from those sources
- The name and contact details of the responsible person in relation to the activity
- The proposed strategy for minimising, managing and monitoring the effects of the local nuisance on potentially affected persons
- The proposed communication strategy for communicating with potentially affected persons

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 31 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

- A copy of the notice (forming part of the communication strategy) proposed to be given to those persons to notify them of the activity, including the following details:
 - The nature of the proposed activity
 - The start and finish dates for the activity
 - The daily start and finish times for the activity
 - The anticipated sources of local nuisance generated by the activity
 - The proposed measures to be implemented to minimise the local nuisance
 - The name and contact details of the person who may be contacted by potentially affected persons regarding concerns or complaints in relation to the activity
 - Other relevant details required by council
- The proposed communication strategy, including reporting mechanism of the applicant on progress of the activity and the site nuisance management plan and any incidents
- The proposed process for recording details about complaints, including-
 - Contact details for each complainant
 - The date and time of the complaint
 - A description of the complaint
 - The nature of the activity giving rise to the complaint
 - Any action taken to address the complaint

10.3 Working Hours

Construction activities on the development site shall only be carried out between the following hours:

- Monday to Saturday: 7am to 7pm
- Sunday/Public Holidays: 9am to 5pm with Council approval

11. COMMUNITY TITLE DEVELOPMENT

11.1 Access

The community access road, internal driveways and all car parking and vehicle manoeuvring areas shall be designed in accordance with AS2890.1 *Parking facilities – Part 1: Off-street car parking*.

The common property intended to be used for roadways or vehicular access to community allotments shall:

- Have a minimum 6.1m width measured from boundary to boundary.
- Extend a minimum 6.0m into the property from the boundary.
- Accommodate a minimum 5.5m width roadway between kerbs.
- Be designed with sufficient on-site manoeuvring area available to enable vehicles to enter and exit in the forward direction.
- Allow for all visitor parking, vehicle turn-around areas and any associated kerbing, to be wholly located on common property.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 32 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

12. COUNCIL LAND

Permanent structures and buildings are not generally permitted to be constructed on public land.

Any proposed development on public land shall be submitted to Council for approval prior to construction and shall comply with requirements of all regulatory authorities.

12.1 Entry statements

Entry statements for land divisions are not to be constructed on Council land unless approved by Council.

12.2 Electric Vehicle (EV) charging

Provision for electric vehicle charging is encouraged in public accessible areas, including activity centre car parks, regional/ district size sport and recreation facilities.

All EV charging equipment designated for public use shall comply with *AS/NZS 3820 - Essential Safety Requirements for Electrical Equipment*

A license to occupy is required for facilities under *Local Government Act 1999*.

12.3 Verandas over footpaths

Commercial buildings are permitted to include designs with verandas or balconies constructed over Council footpaths, subject to permit approval under *Section 221 of the Local Government Act 1999*.

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 33 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

Checklist

PAVEMENT DESIGN	
☐ Design and calculations	☐ Geotechnical test results
☐ Drawings and specification for construction approval: • earthworks • sub-base course • base course • road sealing	
STREET NAMES	
☐ Proposed street names	
LANDSCAPING/RESERVES	
☐ Landscaping plan	☐ Park furniture plan
STORMWATER DRAINAGE	
☐ Stormwater/site management plan	☐ Floodplain management report
COMMUNITY WASTEWATER MANAGEMENT SYSTEM	
☐ Design drawings and specifications	☐ Detailed 'as constructed' survey
ENVIRONMENTAL PROTECTION	
☐ Environmental management plan	☐ Site nuisance management plan
OTHER	
☐ Building envelope plan	☐ Site layout plan
☐ Infrastructure agreement	
☐ Application for construction or modification on Council property	

Legislation and References

Australian Road Rules 1999

Australian Standard - AS1158 - Road lighting.

Australian Standard - AS1428 - Design for access and mobility.

Australian Standard - AS1742 Manual of Uniform Traffic Control Devices.

Australian/New Zealand Standard - AS/NZS 2890.1 Parking facilities - Part 1: Off-street car parking.

Australian/New Zealand Standard - AS/NZS 3500.3 Plumbing and drainage - Stormwater drainage.

Australian Standard – AS4685:2021 - Fixed and moveable play equipment

Austrroads 'Guide to Asset Management Part 5: Pavement Performance'.

Austrroads 'Guide to Pavement Technology Part 2: Pavement Structural Design'

Austrroads 'Guide to Road Design Part 6A: Pedestrian and Cyclist Paths'

Austrroads 'Pavement Design for Light Traffic: A Supplement to Austrroads *Pavement Design Guide*',

Department for Infrastructure and Transport - Guide to Bikeway Pavement Design, Construction and Maintenance for South Australia

Department for Infrastructure and Transport – Master Specifications for Roads and Structures

Environmental Protection Authority - Stormwater Pollution Prevention: code of practice for local, state and federal government

Government of South Australia *Guide for Applicants - Land Division Guide*.

SA Health/ Local Government Association of SA - Septic Tank Effluent Drainage Scheme Design Criteria

South Australian Appendix to the Building Code of Australia (BCA)

South Australian Fencing Act 1975

South Australian Housing Code (SAHC)

South Australian Local Nuisance and Litter Control Act 2016

South Australian Native Vegetation Act 1991 and Regulations

South Australian Planning, Development and Infrastructure Act 2016

South Australian Real Property Act 1886

Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 35 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

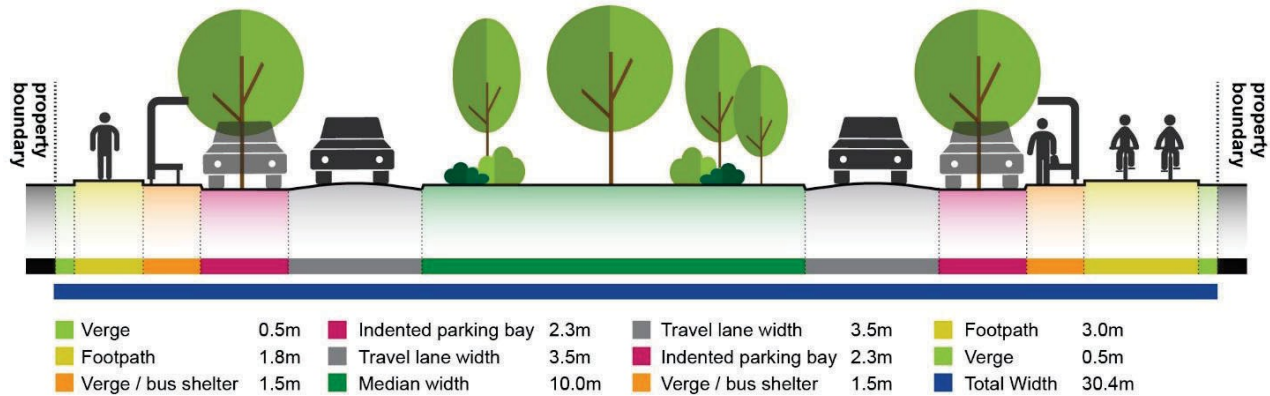
Related Policies

- The Barossa Council - Property Identification Policy
- The Barossa Council - Roadside Vegetation Management Plan
- The Barossa Council - Stormwater Drainage Guidelines

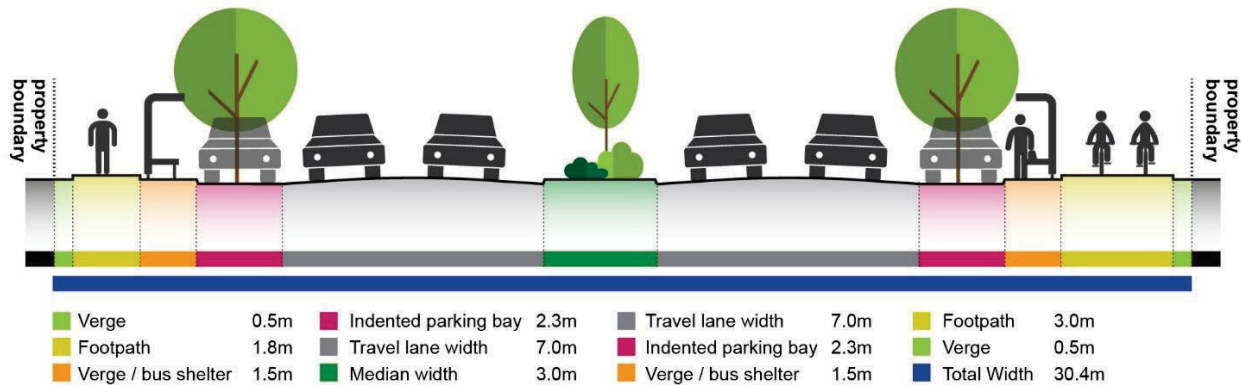
Approval date: 15/04/2025	Review date: 15/06/2026	Approved by: Council Council Minute Book Ref: 2022-26/665	Ref: 25/23203[v2]	Page 36 of 40
All information presented herein is accurate as at time of latest edition Uncontrolled once removed from webpage or Council's Record Management System. Before using printed copy please verify that it is the current version. © The Barossa Council 2025				

Appendix 1 – Road Cross Sections

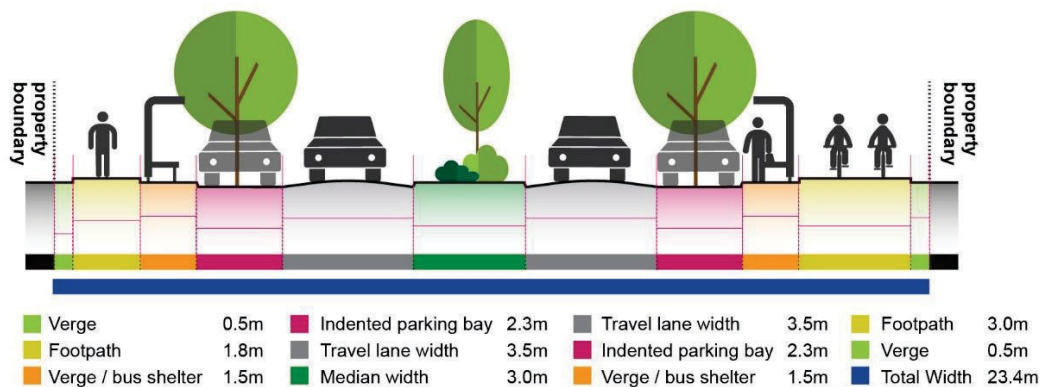
North- South Boulevard – Stage 1



North- South Boulevard – Stage 2



Collector Road (Infrastructure Scheme road)



Approval date:
15/04/2025

Review date:
15/06/2026

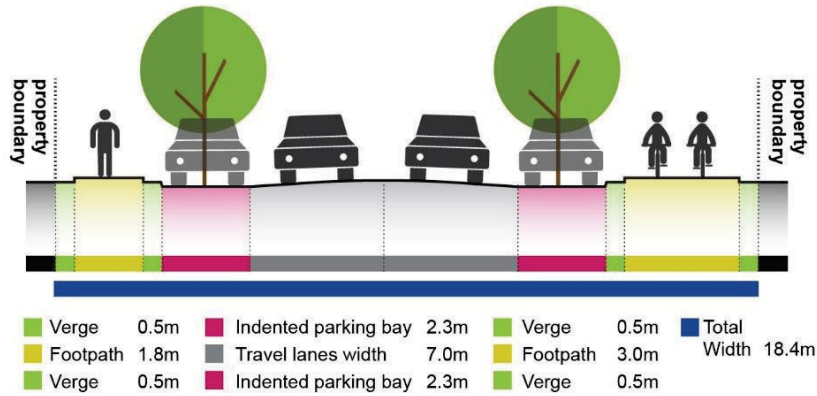
Approved by: Council
Council Minute Book Ref: 2022-26/665

Ref:
25/23203[v2]

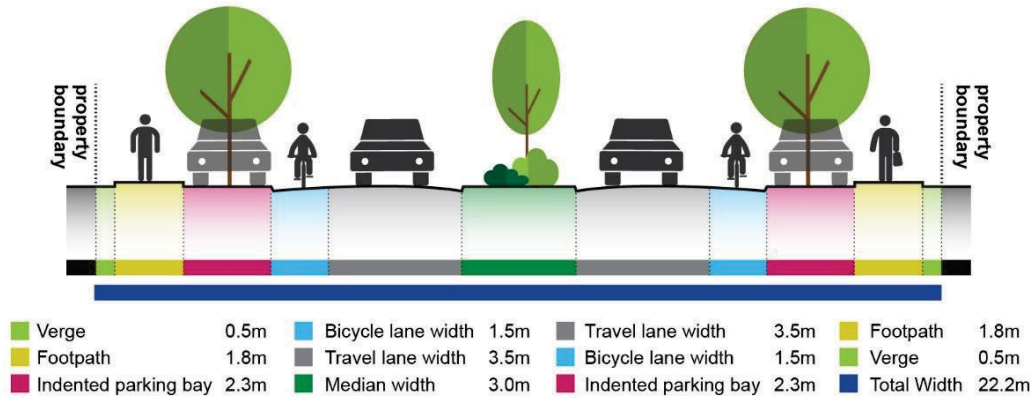
Page
37 of 40

All information presented herein is accurate as at time of latest edition
Uncontrolled once removed from webpage or Council's Record Management System.
Before using printed copy please verify that it is the current version. © The Barossa Council 2025

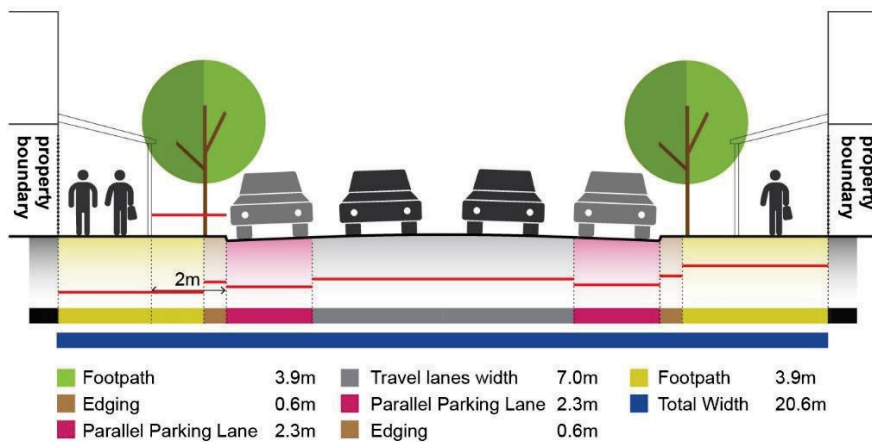
Collector Road (not in Scheme)



Collector Road (not for buses)



Main Street



Approval date:
15/04/2025

Review date:
15/06/2026

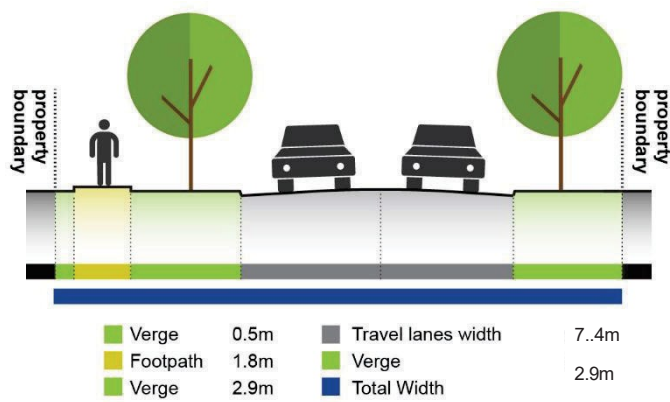
Approved by: Council
Council Minute Book Ref: 2022-26/665

Ref:
25/23203[v2]

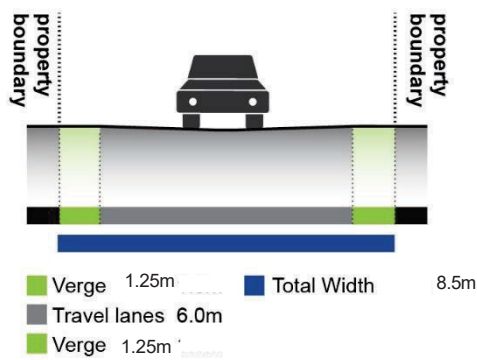
Page
38 of 40

All information presented herein is accurate as at time of latest edition
Uncontrolled once removed from webpage or Council's Record Management System.
Before using printed copy please verify that it is the current version. © The Barossa Council 2025

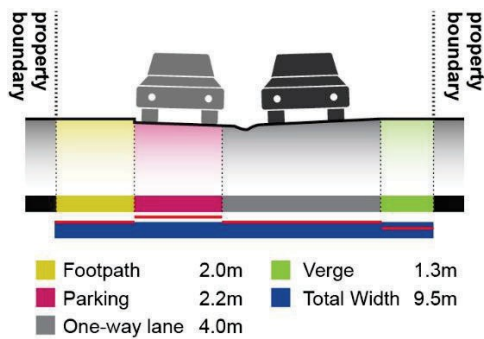
Local Road



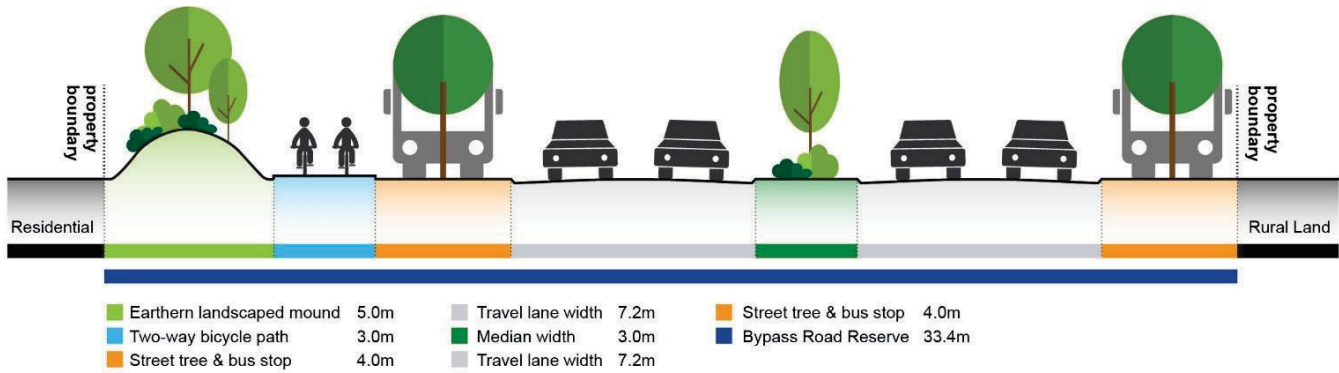
Rear Lane (residential)



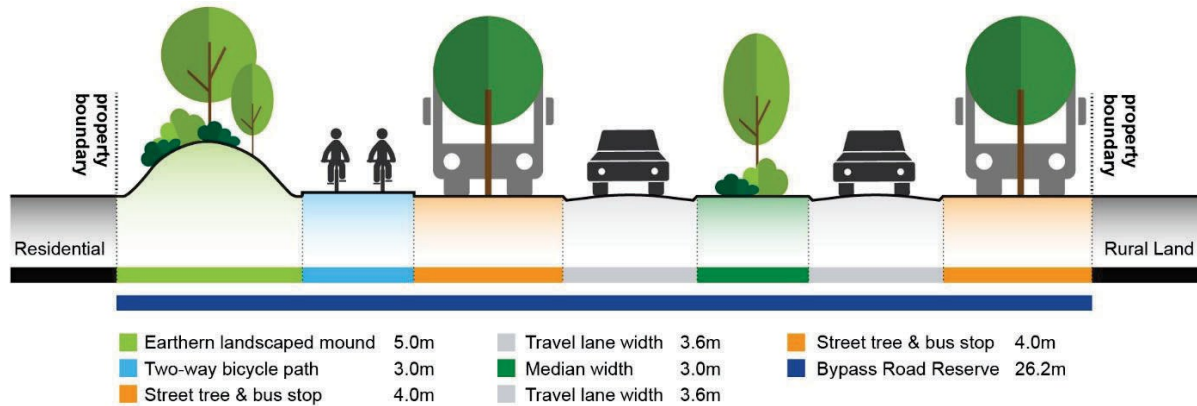
Lane (commercial – one way)



Link Road (Dual Lane)



Link Road (Single lane)



Approval date:
15/04/2025

Review date:
15/06/2026

Approved by: Council
Council Minute Book Ref: 2022-26/665

Ref:
25/23203[v2]

Page
40 of 40

All information presented herein is accurate as at time of latest edition
Uncontrolled once removed from webpage or Council's Record Management System.
Before using printed copy please verify that it is the current version. © The Barossa Council 2025